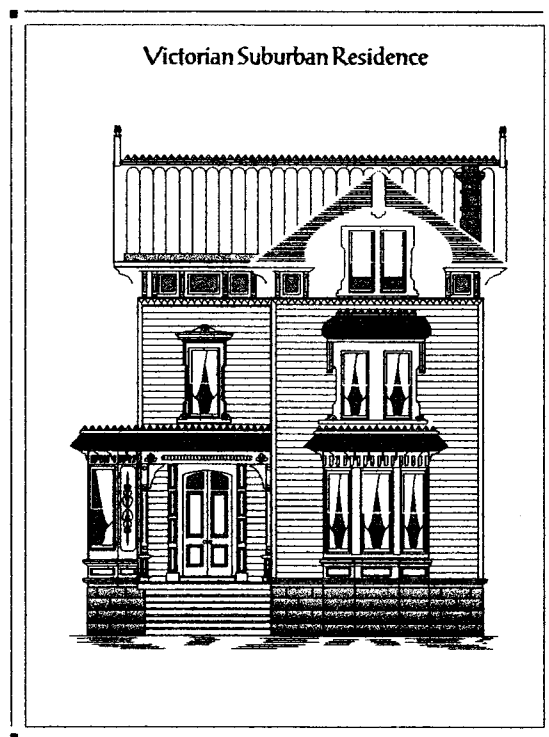


City of Saco, Maine  
Department of Inspection Services  
and  
Code Enforcement

**Plan Submittal Guide for  
One and Two Family  
Dwelling Projects**



First Printing, February, 2000

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## ***Introduction***

This booklet was prepared to help you submit the information necessary for City Staff to process your application for a Building Permit . Your project will be evaluated in terms of compliance with the Zoning, Building, Plumbing, Electrical and Fire Code Ordinances as adopted by the City of Saco and the State of Maine. The information presented in this booklet are not all inclusive of code requirements. They are intended only to highlight areas which often present difficulties for designers, contractors and City residents.

Contractors are required by State law, Title 10, M.R.S.A. Chapter 219-A to provide consumers with a written contract for any home remodeling or construction job with an estimated cost in excess of \$1400.

Upon issuance of the Building Permit, the Permit is required to be posted and visible from the public Right-of-Way. The Permit approval requires compliance with all codes and ordinances which the City of Saco has adopted.

Two sets of plans must be submitted with a building permit application which can be obtained at the Code Enforcement Department. One set of approved plans, specifications and permit amendments will be returned with the permit. The approved set must remain on the job-site until the final inspection and a Certificate of Occupancy has been issued.

The permit applicant is responsible for making arrangements for inspections and insuring that all the required inspections have been performed by a City Code Enforcement Officer. The required inspections are indicated on the face of the Building Permit job card. When calling for required inspections, please provide the following information: Contractor name, project location, building permit number and type of inspection required.

Please remember that structures may not be used or occupied until a Certificate of Occupancy has been issued by the City.

Should you have any questions concerning your project, please contact us in the Code Enforcement Department.

Thank you.

Inspection Services  
Code Enforcement  
300 Main Street  
Saco, Maine 04072

(207) 284-6983  
Fax (207) 282-8202

## ***Chapter 1 Planning and Zoning***

Two complete site plans must be submitted with each application or, if interior renovation only, two complete floor plans must be submitted for review. Examples of site plans and floor plans are provided in Appendices A through C.

### ***Requirements for All Permit Applications:***

- Site plan must be drawn to scale
- Graphic scale must be shown or noted on the plan
- Location of all municipal boundaries, if applicable
- Location of all property lines
- Location of all public street right-of-ways and location of all public streets, including curbs and sidewalk
- Location of all easements on the property, both public and private. Any lot which contains a recorded easement or right-of-way **must** have the following note on the site plan; **“Nothing shall be placed, planted, set, or put within the area of the easement that would adversely affect the function of the easement or conflict with the easement agreement.”**
- Location of all existing and proposed buildings and improvements including all driveways, swimming pools, shed(s) and other outbuilding(s)
- Exact dimensions from all existing and proposed improvements to all property lines, including driveways, swimming pools, sheds and other outbuildings.
- Additional information may be required for review

### ***Information Required if Applicable***

- Location of an on lot sewage (septic) system
- Location of the 100 year flood plain and the 100 year flood plain elevation. Any new construction or substantial improvement done to a structure within a designated flood plain as shown on the community’s Flood Insurance Rate Map must submit a completed elevation certificate along with the application for a building permit. Elevation Certificates must be completed by a Professional Land Surveyor.
- If a new or relocated driveway is proposed, or any excavation or work is proposed within the city right-of-way, a Street Opening Permit must be obtained from the Department of Public Works
- Location of all wetland areas
- Permits from other authorities having jurisdiction (such as the Saco River Corridor Commission, the Maine Department of Public Safety, Historic Commission, etc) must be attached to the application.
- All variances, conditional use permits, site plan approvals must be noted on the site plan.

## ***Chapter 2 Code Compliance Requirements***

### **General Plan Requirements**

Scaled drawings - Scale shall be indicated on each plan.

Provide full cross cut sectional drawing of each different area to be constructed.

- Identify the use of all new and adjacent spaces
- Indicate dimensions of all areas including rooms, stairways, hallways, doors, etc.
- Provide complete beam schedule with minimum bearing requirements and support columns
- Identify all point load locations requiring blocking to solid foundation
- Indicate floor joist size and spacing and direction, span and type of lumber for all areas
- Label all applicable items to match their respective schedules, i.e. beams, columns, doors, etc.
- Provide complete window schedule, including manufactures name, catalog number, location, size and type.
- Glazing - label all hazardous locations
- Indicate fire separation between garage and residence. Include drywall and opening protection specifications
- Location of smoke detectors. Code Requires A.C. powered with D.C. back up type detectors located in each room used for sleeping purposes, one outside of the sleeping rooms and one on each level including basements. Each detector must be wired to the other so that when one sounds, they all sound
- Provide location of access panels for attics, crawl spaces, whirlpool motors and mechanical equipment
- Identify fireplace location, footing size and thickness, width of hearth, firebox depth, clearance to combustibles and construction type. For pre-manufactured chimneys and fireplace inserts, indicate the brand name, model number and testing agency.
- Handrail and guardrail detail and locations
- Skylight locations
- Location of all plumbing, mechanical and electrical equipment.

### **Foundation Plans**

Scaled drawings - Scale shall be indicated on each plan.

Provide full cross cut sectional drawing of each different area to be constructed.

- Indicate all footing and wall dimensions and specifications
- Footings must be continuous
- Indicate all pier pad, column and beam locations, sizes and specifications
- Indicate type and location of any footing and/or foundation reinforcement
- Indicate sump pit and/or ejector pit
- Radon system locations
- Crawl space ventilation locations and sizes
- Details of beam pocket construction
- Type and spacing of anchor bolts
- If construction is within a special flood hazard zone, location and size of any hydrostatic openings

## Cross Sections

Scaled drawings - Scale shall be indicated on each plan.

Provide full cross cut sectional drawing of each different area to be constructed.

Provide cross sections of unique areas or complex construction details

- Footings, continuous - size, thickness, depth below grade, size and location of reinforcement
- Isolated piers - size, thickness and reinforcement
- Foundation wall - size, height of backfill, method of damp-proofing, type of mortar, and type and location of reinforcement
- Foundation drain - stone, filter type and location
- Passive radon components
- Crawl spaces - height of framing members above exposed earth, vapor barrier, ventilation and access hole (18" by 24" minimum required)
- Floor joist members - indicate size, spacing, span, direction, lumber species and grade of lumber to be used.
- Floor sheathing - thickness, type (i.e. 3 ply, 4 ply, fir, pine)
- Wall framing details - size and spacing
- Exterior wall covering, insulation, moisture barrier
- Wall bracing - corner and intermediate
- Location of all headers, beams and steel lintels to match required schedules
- Interior finish on walls & ceilings
- Cross ventilation - type of system and location
- Roof pitch (expressed as \_\_\_\_ on 12)
- Roof members - include size, spacing, span, direction, pitch of roof, collar ties, species and grade of lumber to be used.
- Sill plate/anchor bolts - size, spacing and location
- Transition block location
- Basement/garage slabs - thickness of concrete and stone base, vapor barrier (6 mil poly required)
- Brick/stone veneer work to include
  - ★ Sheathing paper
  - ★ Masonry tie type and spacing
  - ★ Weephole location
  - ★ Flashing details
- Engineered/Manufactured Roof systems. Drawings to include: size, spacing, span, direction, bracing, pitch of roof and any special hangars required for installation. Roof sheathing and finish materials
- All stairways, rise (maximum 7 3/4 inches) tread depth (minimum 10 inches) nosing overhand and headroom (minimum 6'-8" measured from nosing of tread)
- Handrails - indicate handrails, mounting height and graspability (cross-dimension maximum) include connection or termination detail to post or wall
- Guardrails - indicate height (minimum 36 inches) and spacing of balusters (maximum 4 inches) for raised surfaces above 30 inches
- Guardrails - indicate height and spacing for open sided stairs above 30 inches.
- Ceiling heights - indicate ceiling heights in all areas (minimum 7'-6" in all rooms except bathrooms)

## Elevations

Scaled drawings - Scale shall be indicated on each plan.

Provide full cross cut sectional drawing of each different area to be constructed.

All exterior elevations reflecting construction and finished grades

## Chimneys and Fireplaces

Masonry Contractors are required to provide homeowners a disclosure concerning the construction of masonry or installation of factory built chimneys and fireplaces. (Title 32, MRSA, chapter 33, § 2313-A). All construction must meet the minimum standards found in NFPA 211.

### Fireplace sectional showing

- Footing thickness and width
- Ash pit/clean-out location
- Hearth slab details and reinforcement
- Hearth dimension
- Hearth extension of front and sides of fireplace
- Type and thickness of firebox wall
- Distance from damper opening to throat
- Steel lintel size
- Clearance to combustibles
- Fire stopping details between floors (if applicable)
- Combustible mantel dimension above lintel
- Horizontal projection of combustible mantle
- Distance from fireplace opening to combustible trim

### Chimneys

- Footing thickness and width
- Clean-out location
- Thimble size and distance to combustibles
- Flue liner size and surrounding materials
- Fire-stopping between floors (if applicable)
- Termination above roof

### Gas & Solid Fuel Burning Appliances

- Provide U.L. or other approved listing/testing agency certification and installation instructions
- Clearance to walls, ceiling, floor and combustibles
- Provide brand and model number on plans at fireplace locations

*This list is a general guide for reference.  
Additional information may be required based  
on job specific situations.*

## Code & Ordinance References

1998 International One and Two Family Dwelling Code

1999 BOCA National Building Code

Saco Zoning Ordinance

Saco Flood Plain Development Ordinance

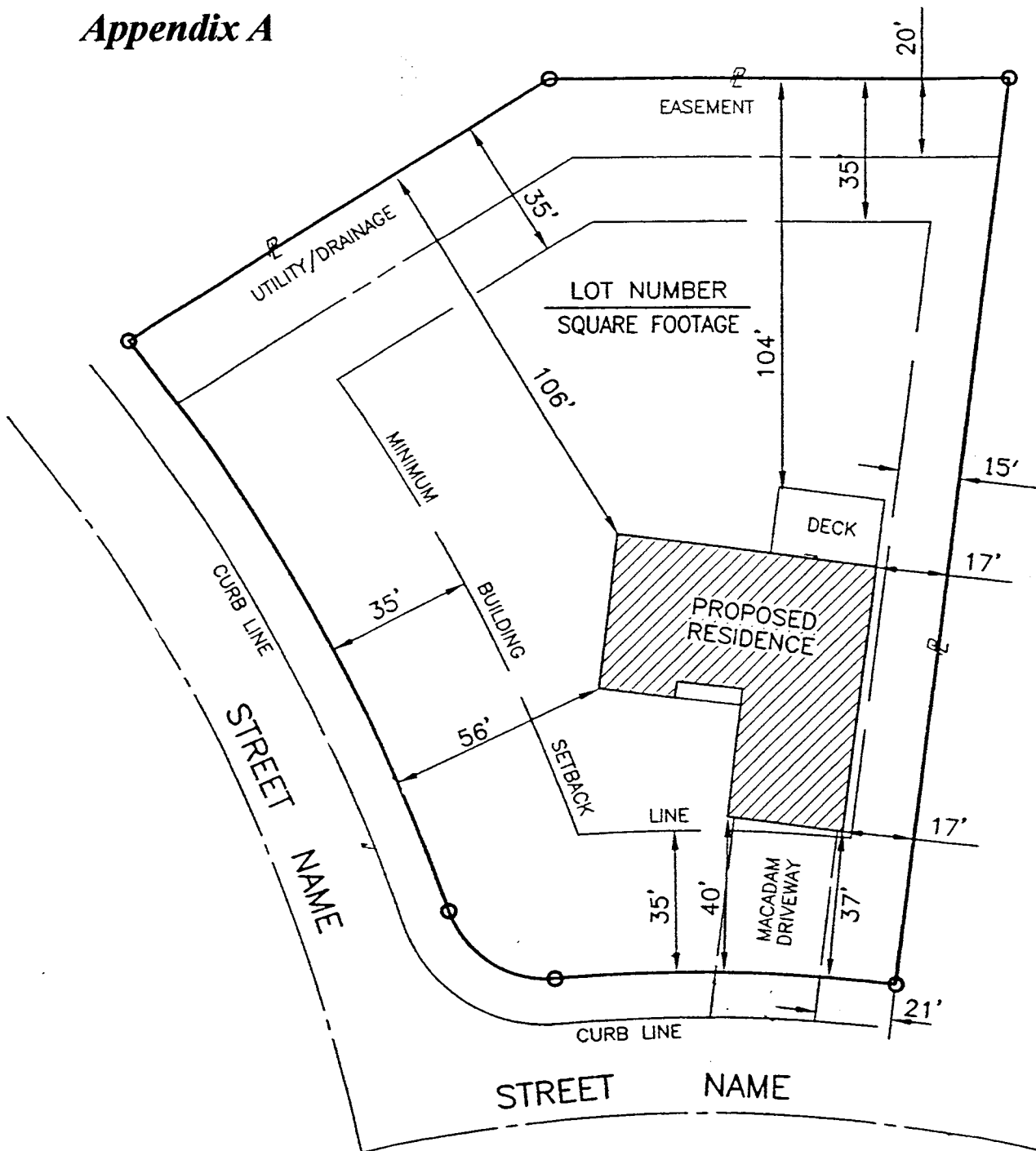
1999 National Electric Code

Maine State Plumbing Rules

Reference material is available for viewing at Saco City Hall, Code Enforcement Department and may be purchased from the Finance Department.

Building Codes are also available for viewing at Dyer Library, 371 Main Street, Saco

## Appendix A

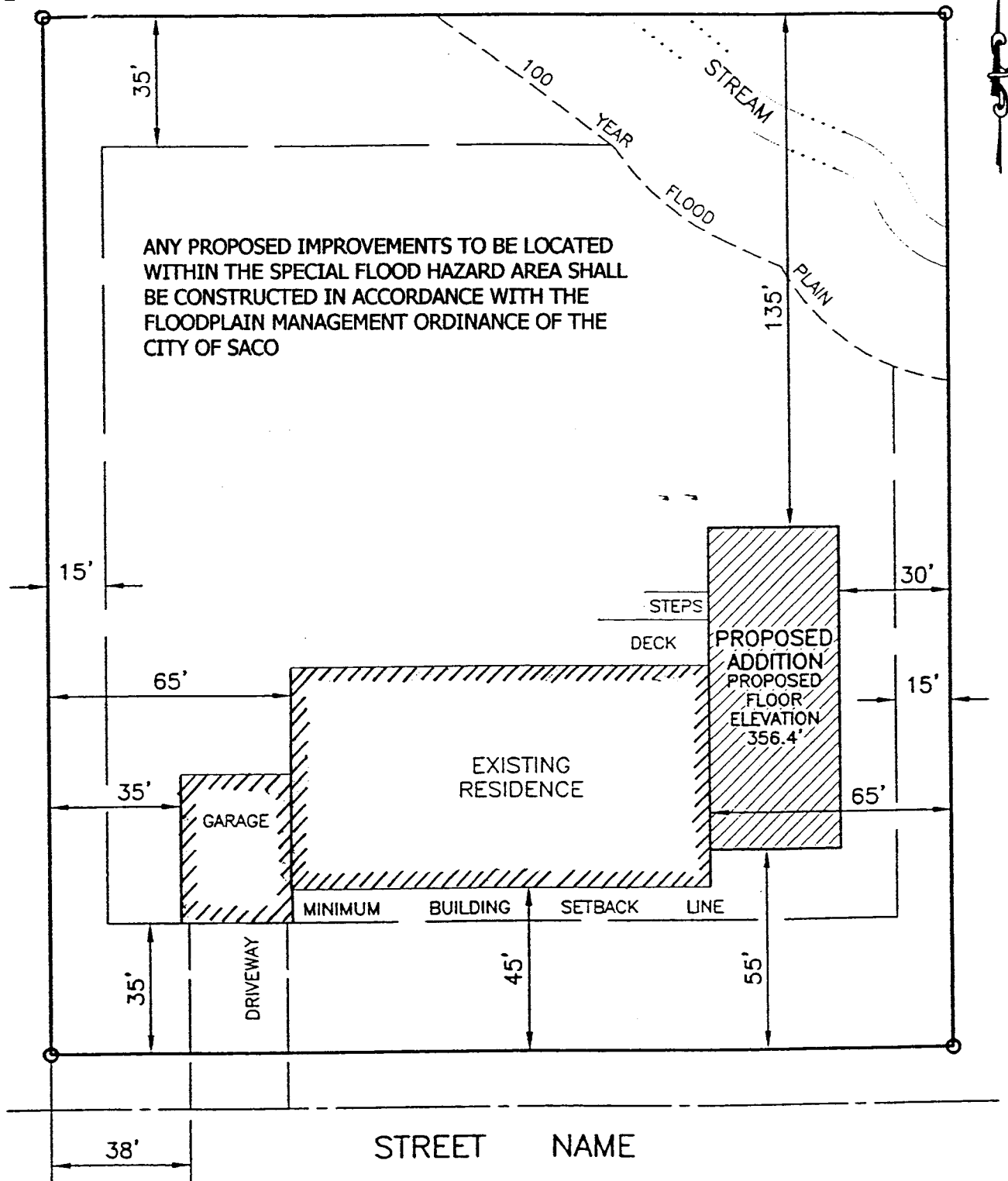


Example of a  
**NEW DWELLING**  
**TYPICAL SITE PLAN**

A

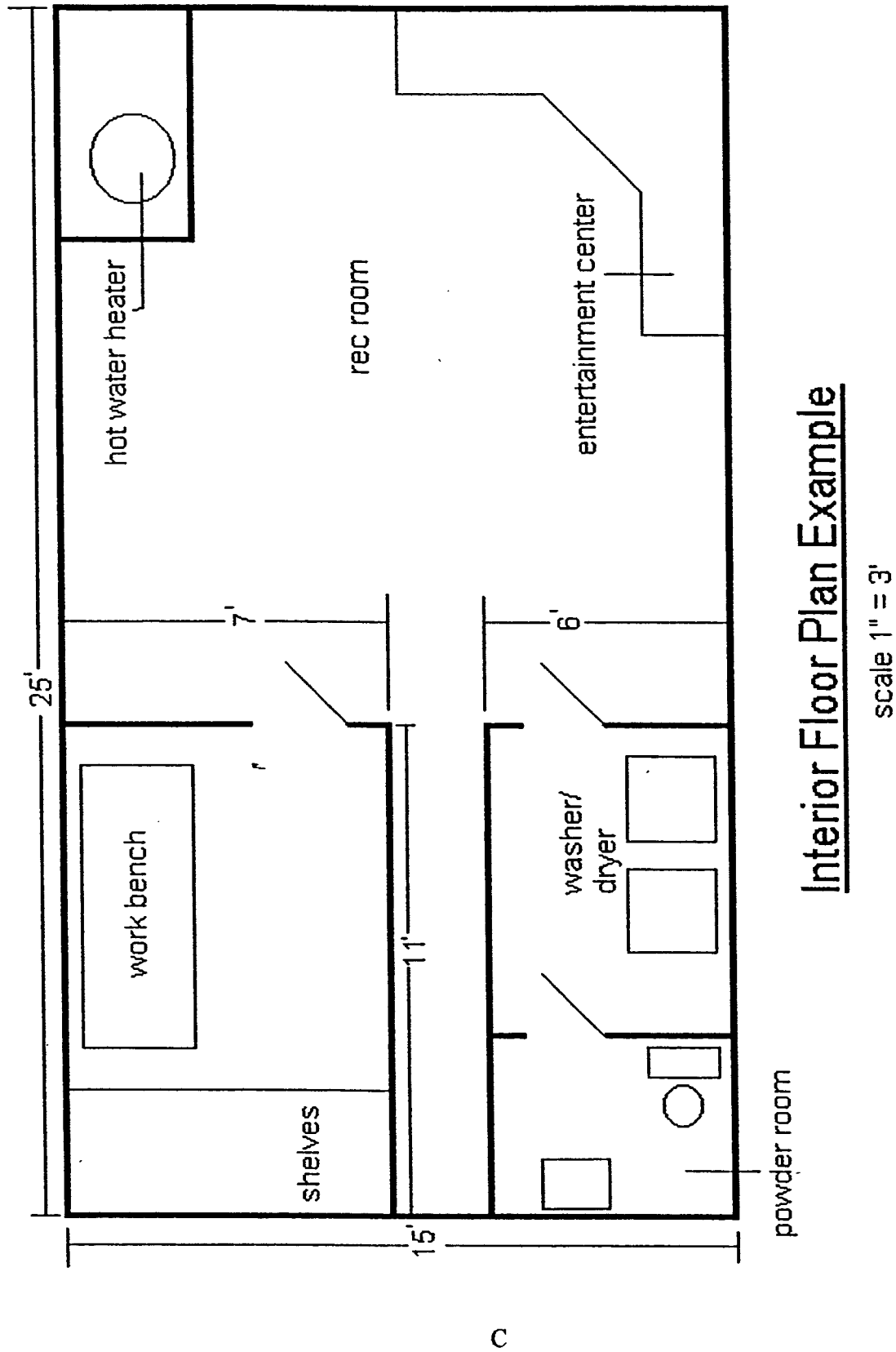


## Appendix B



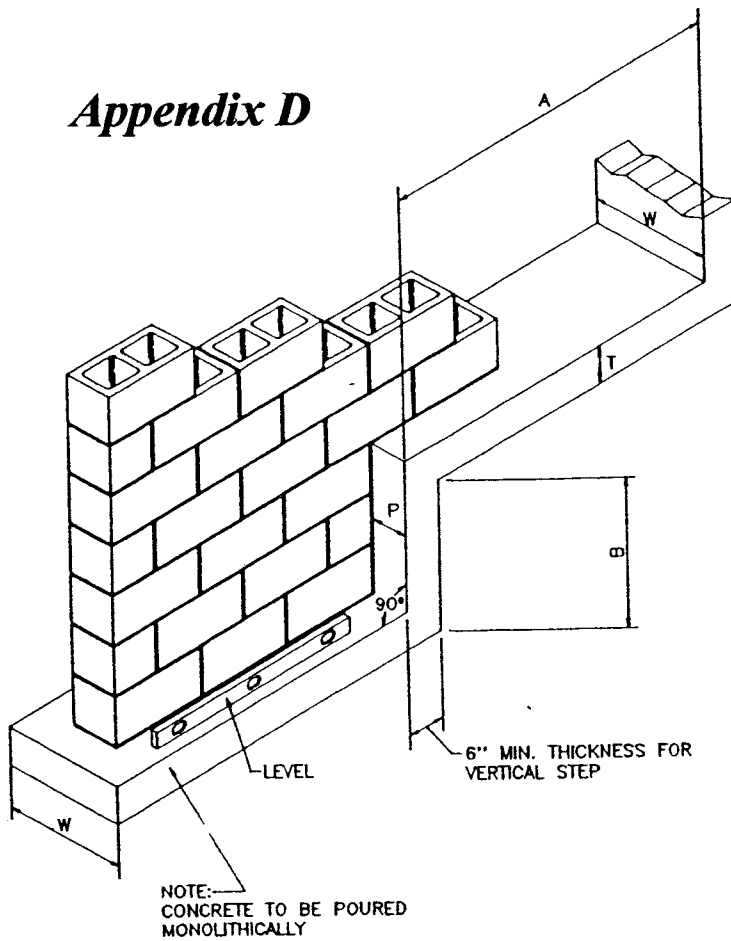
Example of a  
**NEW DWELLING**  
**TYPICAL SITE PLAN**

## Appendix C



## Appendix D

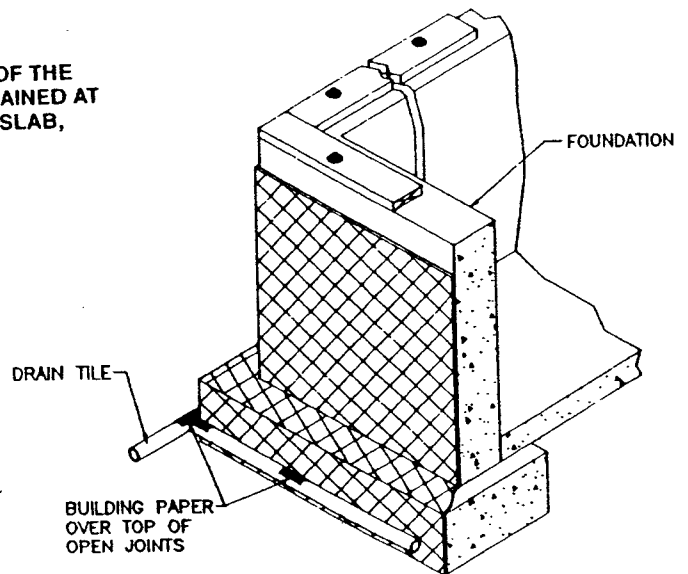
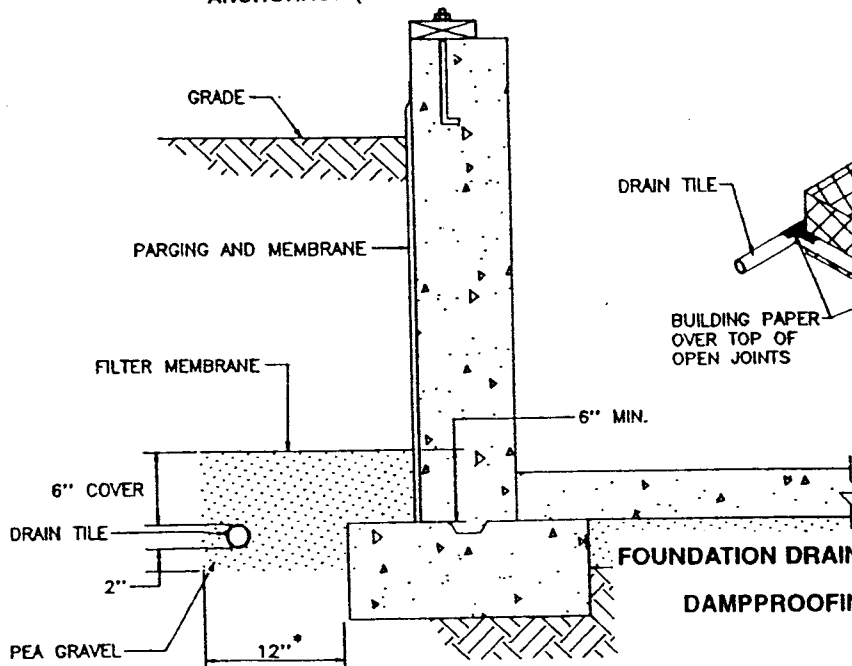
## Footing & Foundation Details



- A = HORIZONTAL STEP
- B = VERTICAL STEP
- T = FOOTING THICKNESS
- P = PROJECTION OF FOOTING
- W = WIDTH OF FOOTING
- ALL FOOTINGS AND STEPS SHOULD BE LEVEL
- STEP (B) SHOULD NOT EXCEED 3/4 OF STEP (A)

### STEPPED WALL FOOTINGS

FLOORS MUST BE ANCHORED AND CONNECTED TO RESTRAIN THE TOP OF THE WALL; THE BOTTOM MUST BE RESTRAINED AT THE FOOTING BY CONCRETE FLOOR SLAB, KEYED FOOTING OR MECHANICAL ANCHORAGE (REINFORCING STEEL)

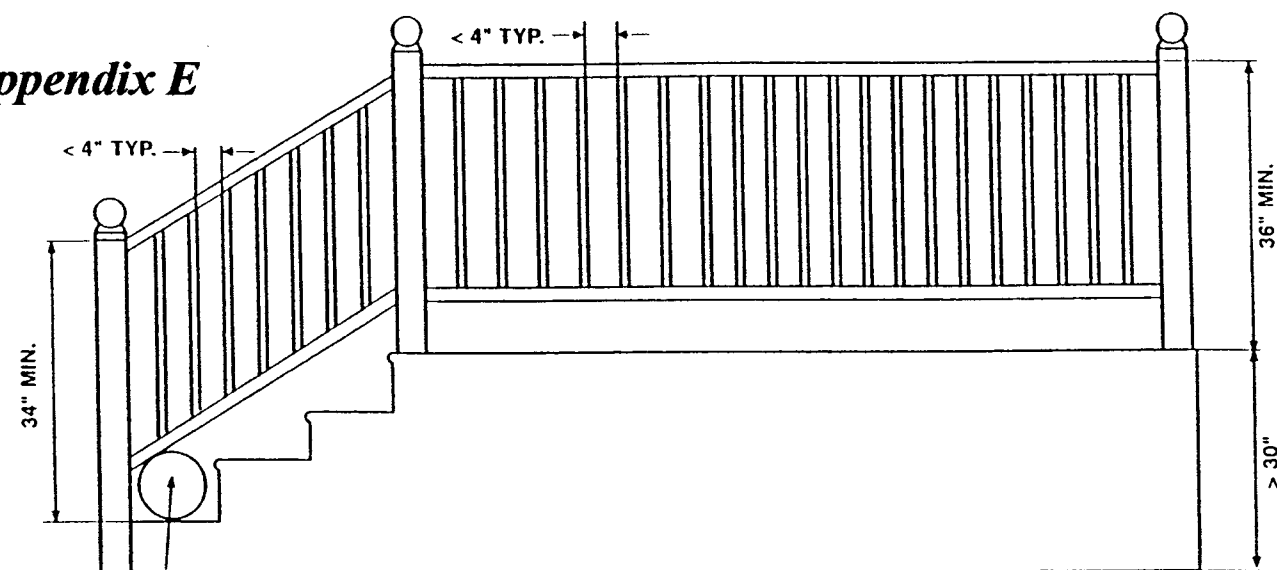


### FOUNDATION DRAINAGE FOR HABITABLE SPACE BELOW GRADE DAMPPROOFING OF MASONRY FOUNDATION WALL

### BRACING FOUNDATION WALLS AGAINST LATERAL EARTH PRESSURE

- MINIMUM LIMITS OF PEA GRAVEL

# Appendix E



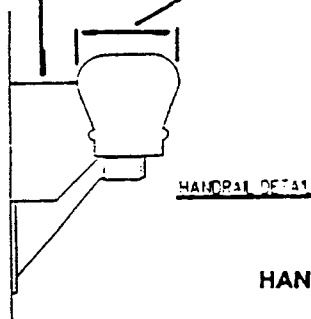
6" SPHERE  
UNABLE  
TO PASS  
THROUGH  
OPENING

GUARDRAILS

## Stairway Specification

CLEARANCE FROM  
WALL  
1 1/2"

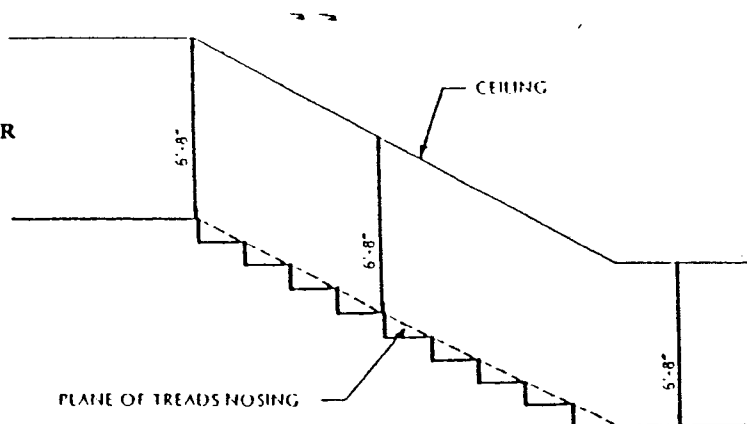
NON-CIRCULAR  
DIMENSION  
2 5/8"



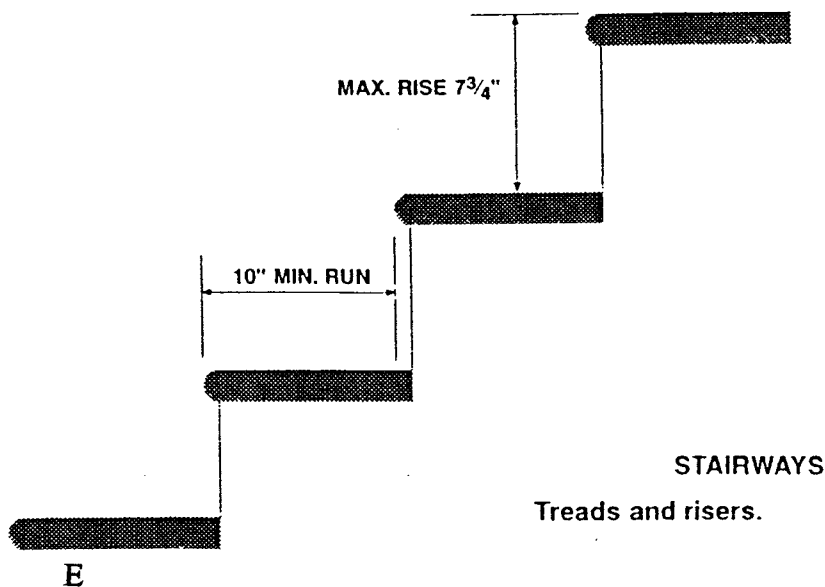
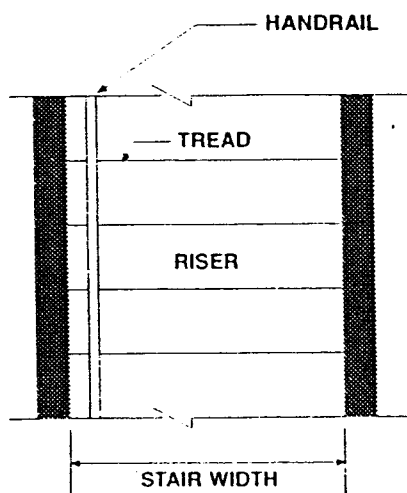
CIRCULAR DIAMETER  
1 1/4" - 2"

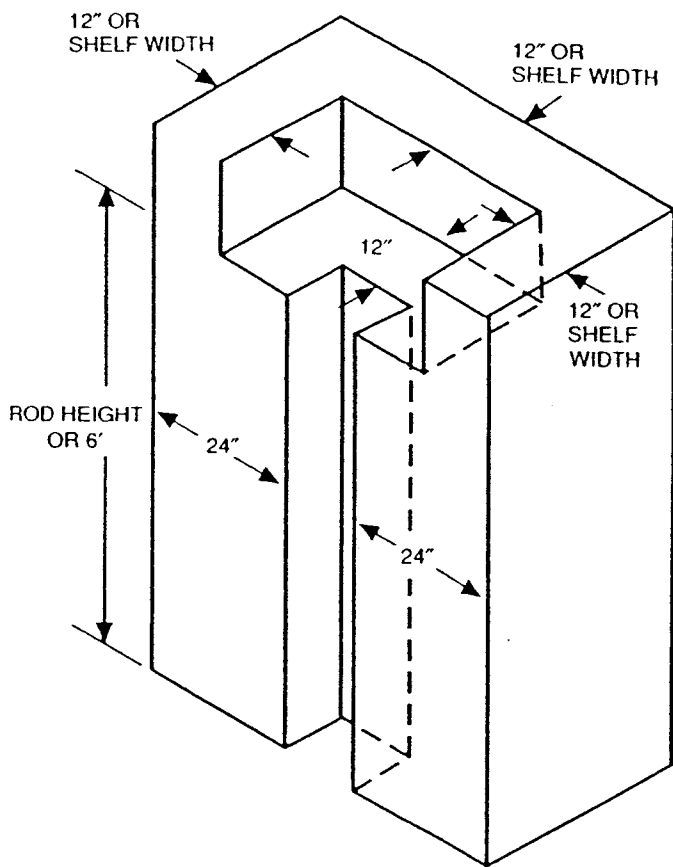


HANDRAILS

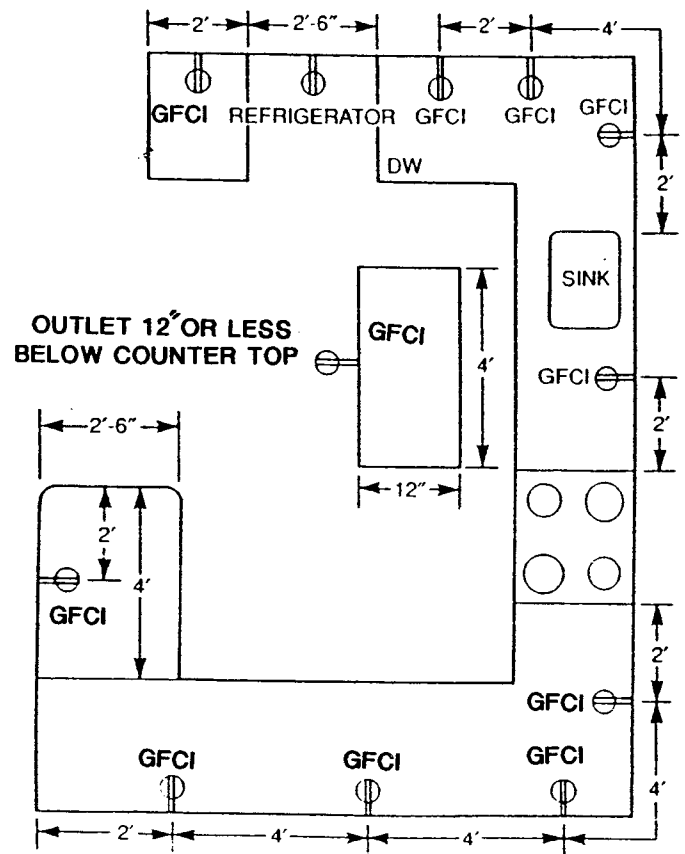
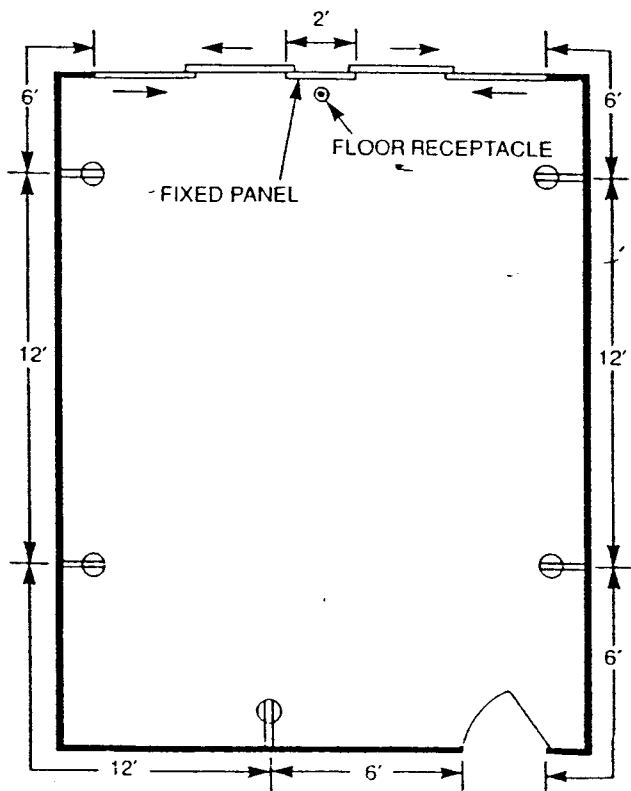


## STAIR HEADROOM REQUIREMENTS





CLOSET STORAGE SPACE



F

2 INDIV 20 AMP BRANCH CIRCUITS

D W CAN NOT BE ON 20 AMP KITCHEN CIRCUIT

## Appendix F

### Receptacle Requirements & Closet Light Fixture Requirements

BATHROOM OUTLET TO BE GFCI IF

WITHIN 3 FEET OF SINK BASIN